



Uniting

**Coombah Village
43-53 OXFORD STREET
EPPING NSW 2121**

APPROVED SENIORS HOUSING DEVELOPMENT

**Applicant:
Proposal:**

**Uniting
Section 4.55(2) Modification Application to DA646/2019**

TURNER

**Ethos
Urban**

Approved Development Application - DA646/2019

- DA646/2019 was approved by the Sydney Central Planning Panel on 7 September 2020
- 16 storey seniors housing development which is a vertical village
- Provides 96 independent living, 34 assisted living and care apartments and a 60 bed residential care facility within the one building so residents can age in place. Four levels of basement accommodating 155 car parking spaces.
- Ground floor retail (hairdressing salon), together with extensive community facilities that includes ground floor, central floors and rooftop areas.

Relevant Planning Instruments

- SEPP (Housing for Seniors or People with a Disability) 2004
- Parramatta LEP 2011

Uniting

TURNER

**Ethos
Urban**

Section 4.55(2) Modification Application to DA646/2019 for the following amendments:

- **Increase in building height:** from RL149.05 to RL150.75 (or 1.7m)
- **Moving Residential Care Facility:** from levels 3, 4 and 5 to levels 1 and 2 (60 to 57 beds).
- **Removing Assisted Living and Care Apartments:** replacing them with Independent Living Units.
- **More 3 bedroom apartments:** located on upper levels.
- **Reduction in number of apartments:** from 130 to 116.
- **Reduction of GFA:** 289sqm across the development.
- **Minor modifications to each elevation:** redesigning floor plates from amendments to non-trafficable areas to either be deleted or converted into usable balconies on level 3 and between levels 6 and 14.
- **Relocation of air conditioning condensers:** from apartment balconies to the rooftop
- **Conversion of the rooftop level:** from function room use to a 'cinema / multi-purpose room' use.
- **Amendment of signage zones:** located on the northern and eastern elevations

Uniting

TURNER

**E Ethos
Urban**

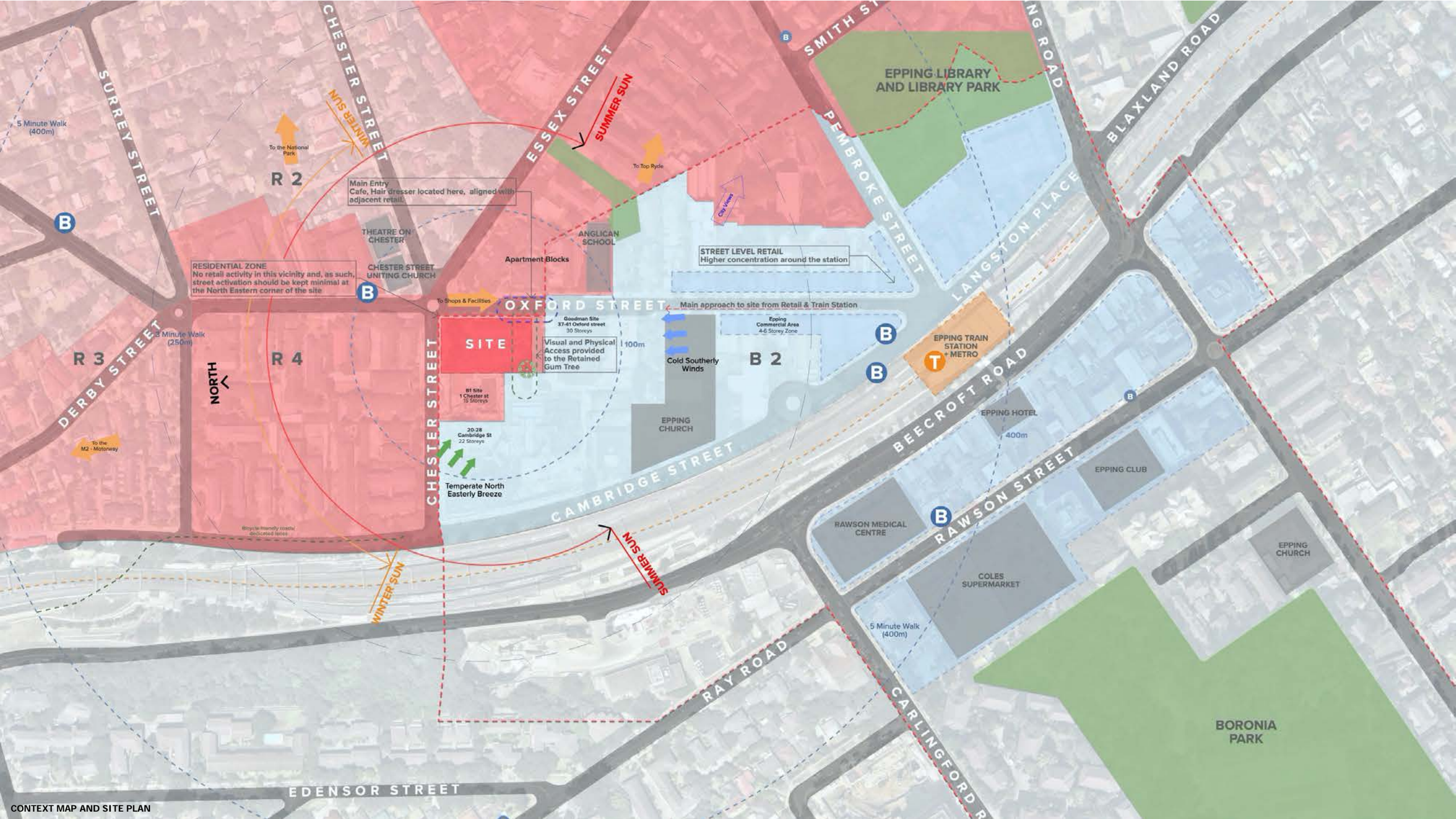
Why is Uniting removing the Assisted Living and Care Apartments?

- Uniting's own definition of assisted living has changed since the DA was approved. On account of:
 - Findings of the Royal Commission into Aged Care in 2021
 - Industry is moving away from formalised low care accommodation
 - Holistic approach now being delivered where care is delivered to peoples homes
 - Therefore, Independent Living Units are effectively capable of providing the level of care associated with the assisted living and care apartments model
 - Effectively no delineation anymore and residents have the ability to move into their apartment and age in place

Uniting

TURNER

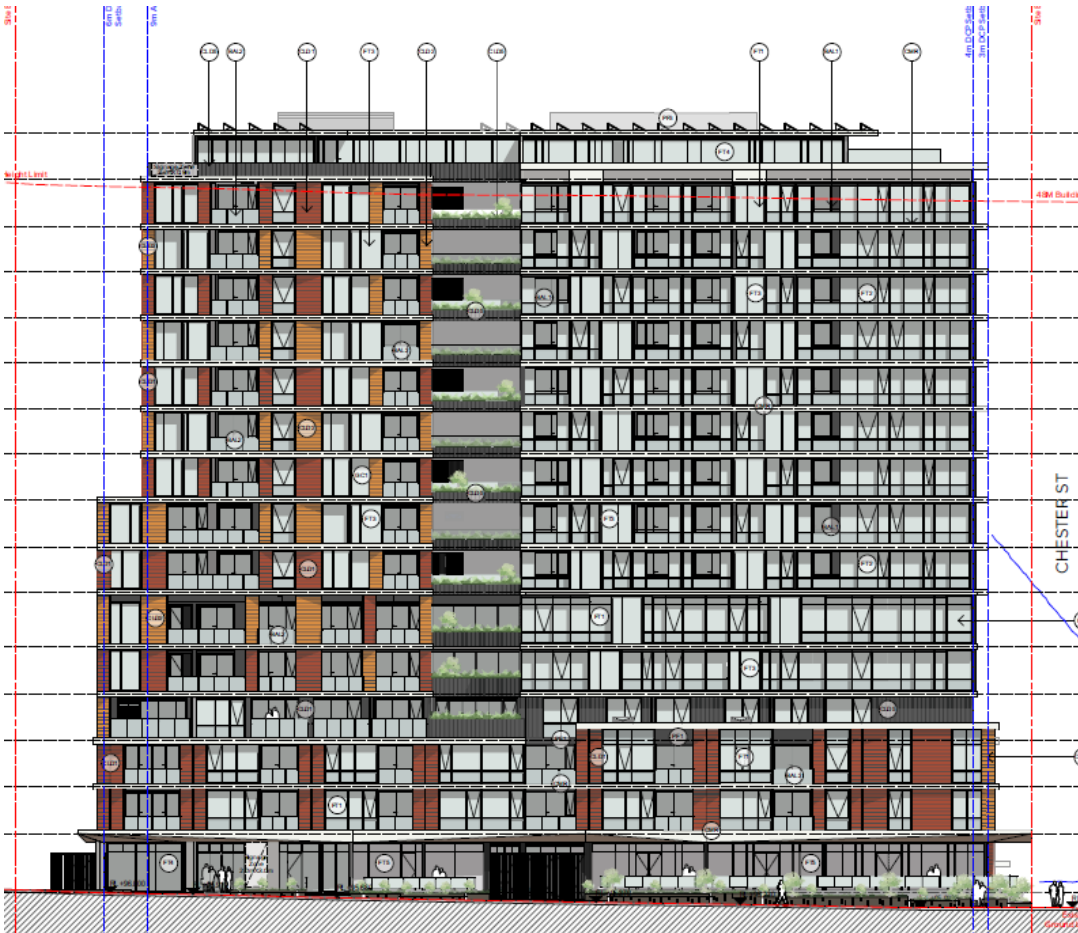
E Ethos
Urban



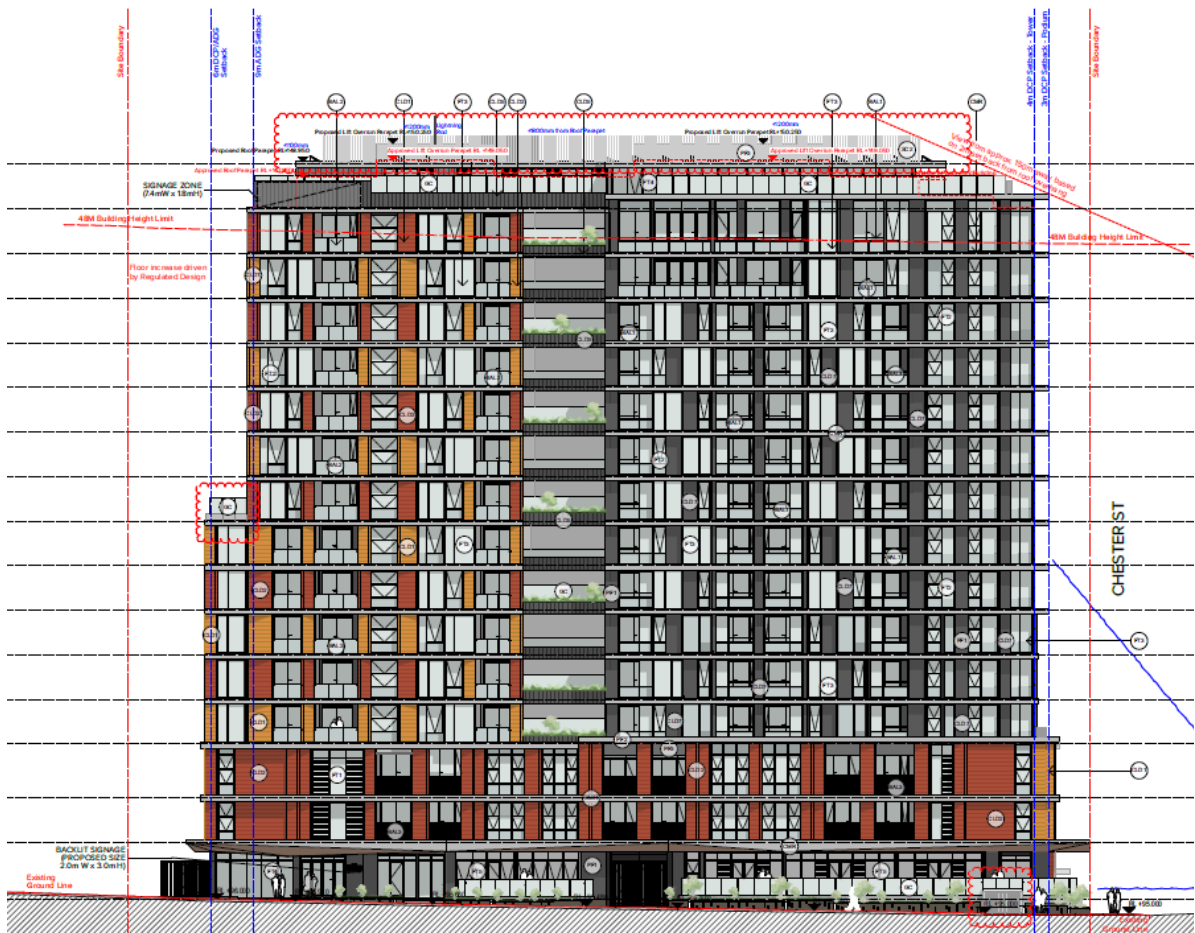
CONTEXT MAP AND SITE PLAN

East Elevation (Oxford Street frontage)

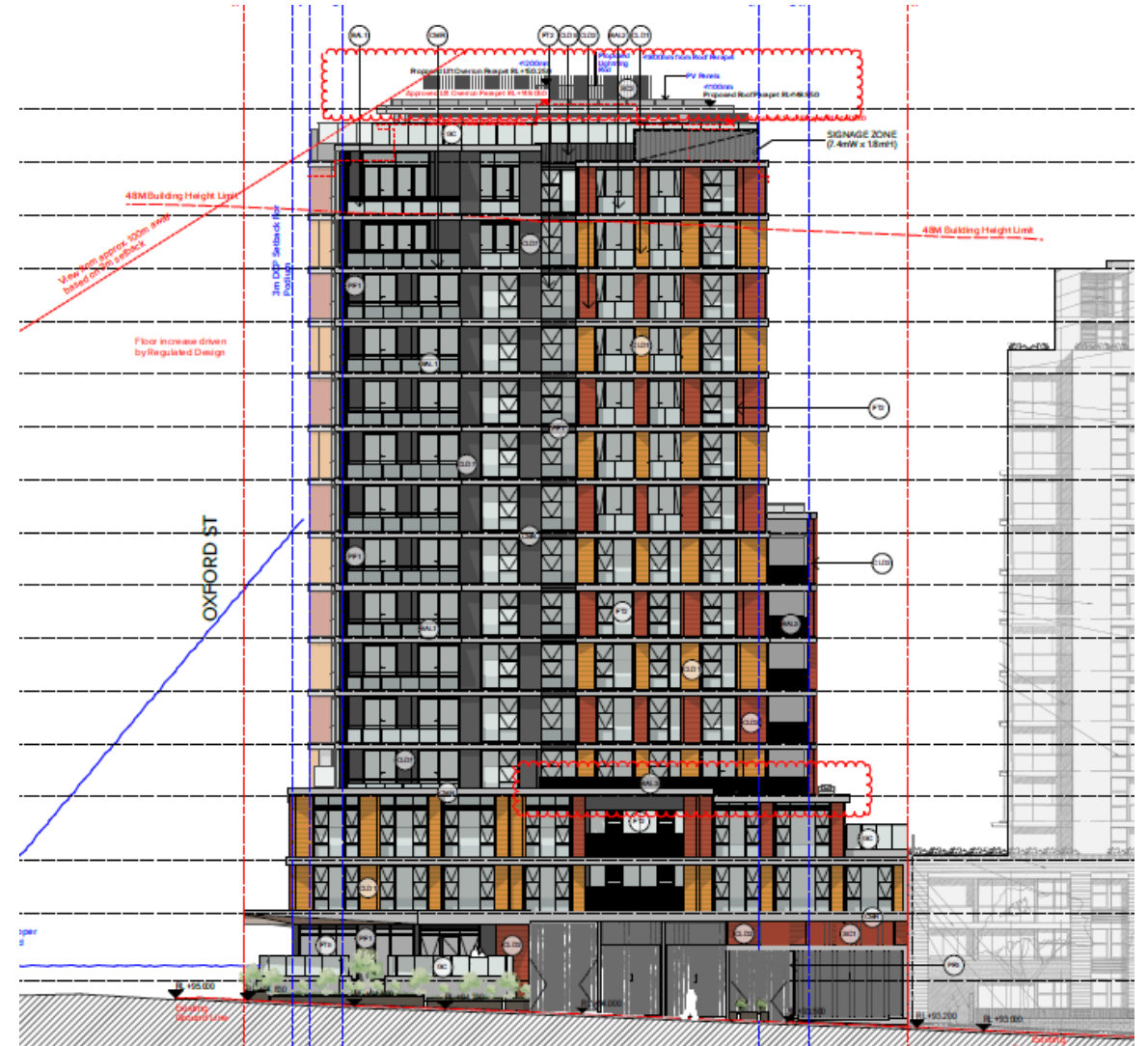
Approved



Proposed modification

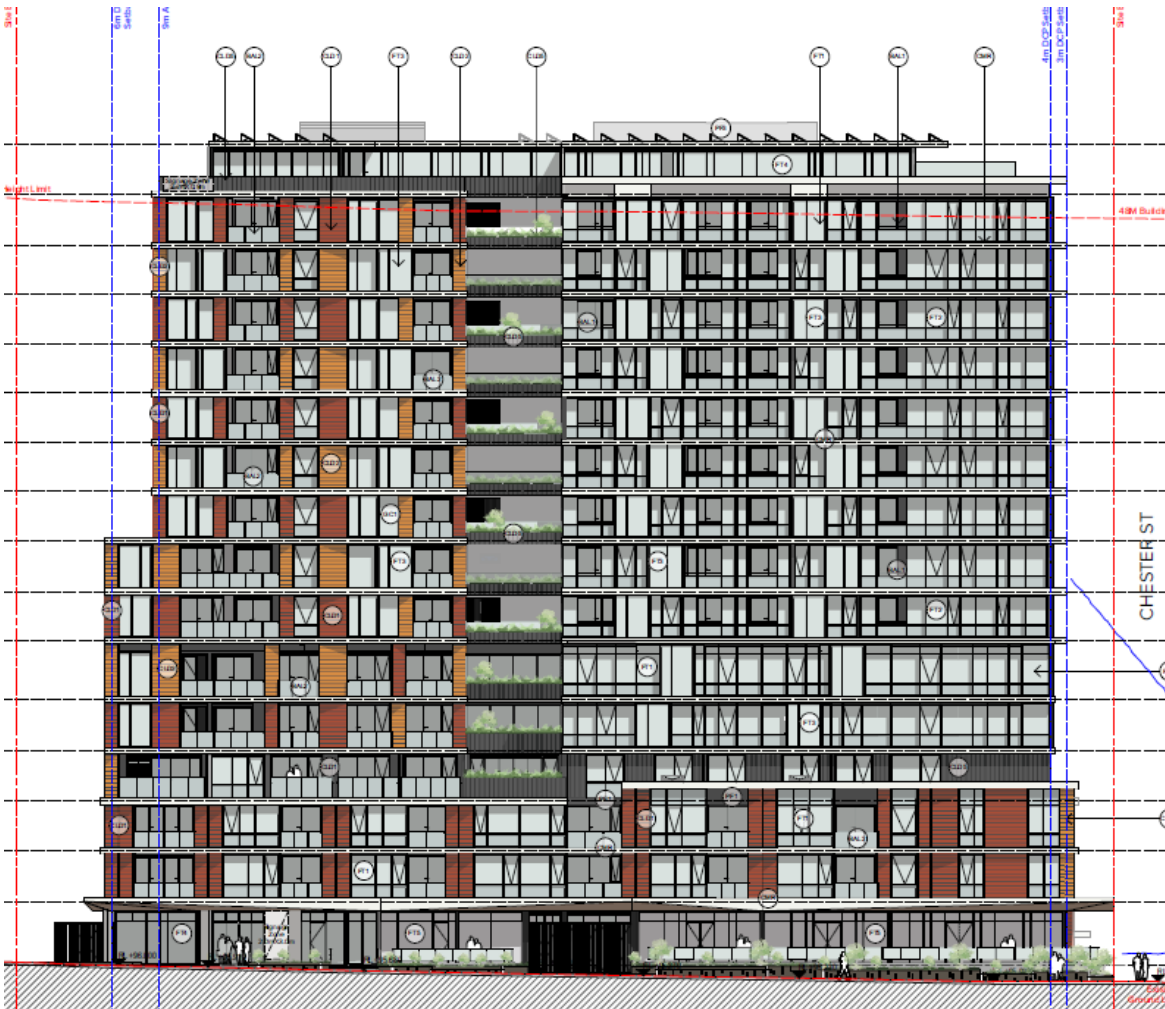


Approved



Eastern Elevation (to 1 Chester Street – neighbouring site)

Approved

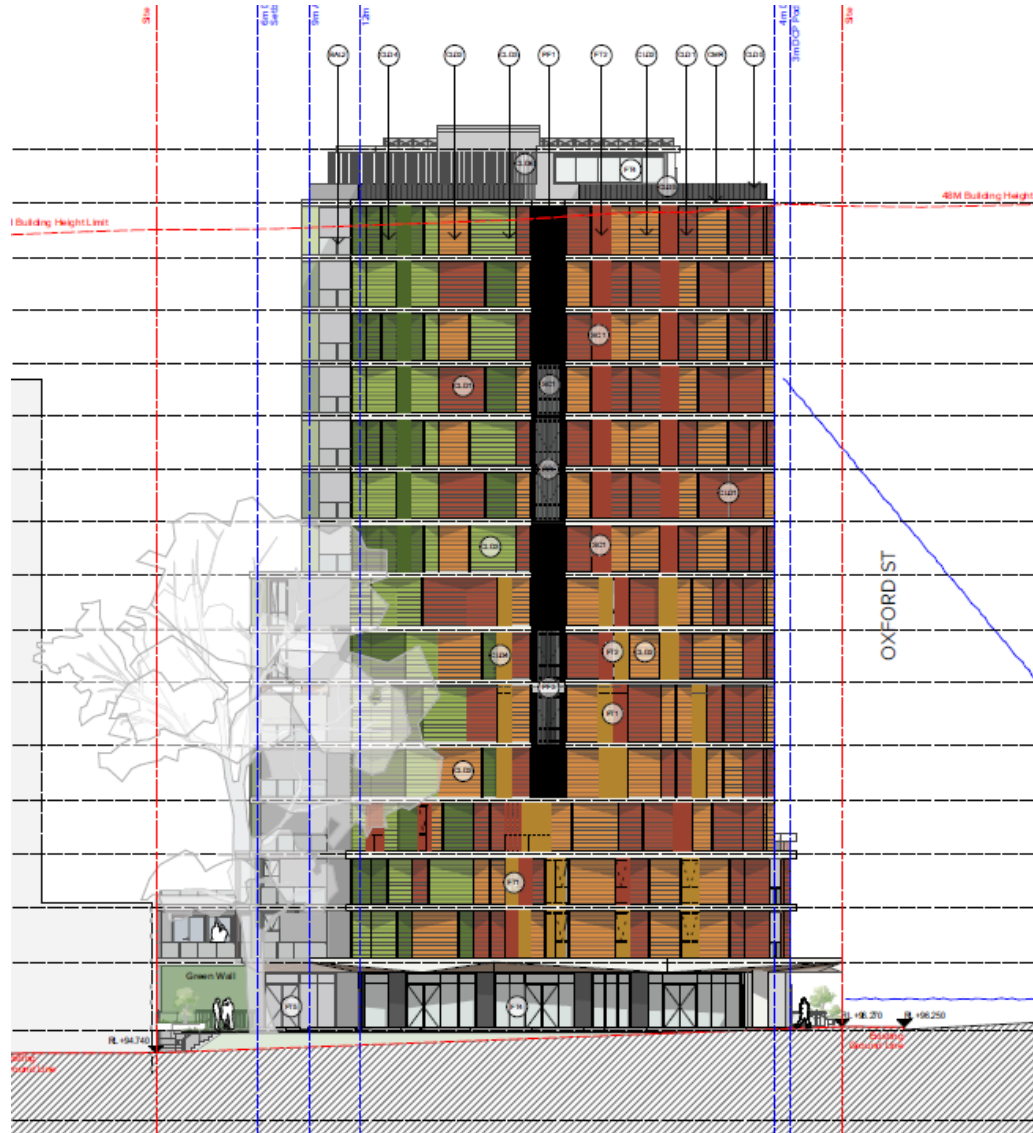


Proposed modification

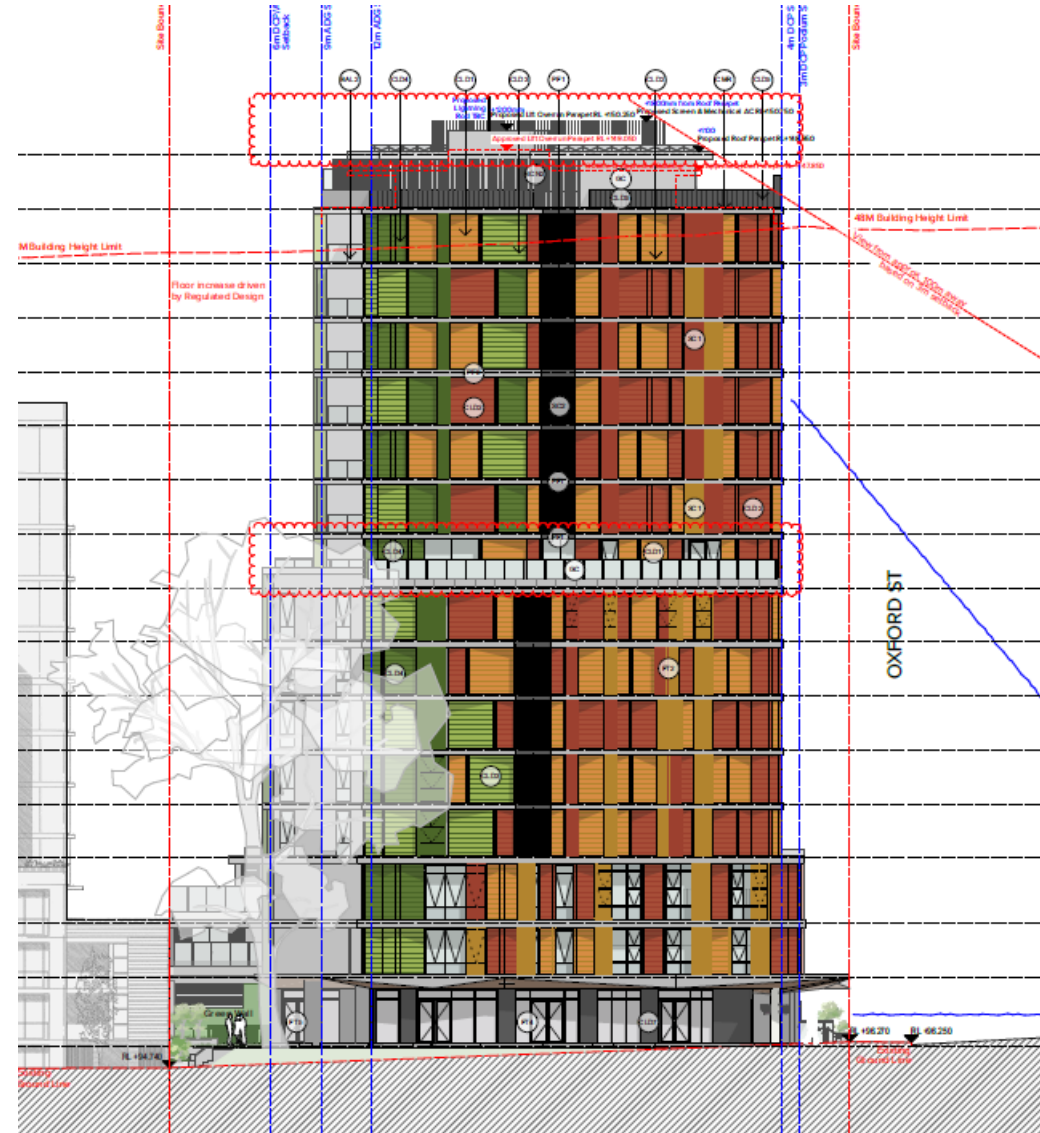


Southern Elevation (to Chester Street frontage)

Approved



Proposed modification



APPROVED STREET PERSPECTIVE



AMENDED STREET PERSPECTIVE



Specialist Reports

Architectural Plans – Turner
Landscaping Plans – Arcadia
Traffic Statement – TTW
ESD / BASIX – Integral
Access Statement – Funktion

Consultation

No community consultation was held. A pre-lodgement meeting was held between the Proponent Team and City of Parramatta Council on 13 April 2022



TURNER